

PLANNING SCHEME VARIATIONS REPORT

409 – 429 PARK RIDGE ROAD, PARK RIDGE
REF: PL3626

PREPARED FOR:
CFMG LTD

SEPTEMBER 2016

LOGAN CITY COUNCIL

APPROVED DOCUMENT

This is an approved document for Development Application

COM/47/2016



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Landscape



Environment



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PLANNING SCHEME VARIATIONS

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1 INTRODUCTION

This Planning Scheme Variations report seeks to outline variations to certain aspects of the Logan Planning Scheme 2015 V3 ~~4.1~~ for land at 409-429 Park Ridge Road, Park Ridge (Lot 1 on RP 157662 and Lots 1 & 2 on RP835896), herein referred to as the 'site' in this report.

This Planning Scheme Variations report supports an application for a Preliminary approval (s242) for a material change of use over the site to provide for dwelling design and setback provisions which enable establishment of dwellings on the lot sizes proposed. The application is also for a subdivision of the land at a density commensurate with the Low Density Residential Zone – Suburban Precinct. Whilst the current provisions for dwellings in the Emerging Community Zone are sufficient for managing houses on large lots prior to the land's conversion to more intensive urban purposes, the proposed variations seek to apply a series of finer-grained provisions suited to low density urban development, based primarily on the existing planning scheme provisions for the Low Density Residential Zone.

It is proposed that future development of the site be in accordance with the Varied Assessment Provisions outlined in section 5 of this Planning Scheme Variations report and in the associated (and attached) Reconfiguration of a Lot Plan and Plan of Development and Building Envelope Plan. The Varied Assessment Provisions prescribe the levels of assessment for land uses on the site and includes variations to the relevant codes to be used in future assessment of development on the site.

2 SITE DETAILS

The site is located at 409 – 429 Park Ridge Road, Park Ridge, and comprises three separate allotments described as Lot 1 on RP157662 and Lots 1 & 2 on RP835896 with a cumulative site area of 11.43 hectares. The site has an approximate frontage of 241 metres to Park Ridge Road from which vehicular access is to be gained.

The Logan Planning Scheme 2015 has included the site in the Emerging Community zone. Additionally, the site is mapped within the following Overlays:

- Biodiversity Areas Overlay
- Bushfire Hazard Overlay
- Flood Hazard Overlay
- Waterway Corridors and Wetlands Overlay

The Development Concept Plan in **Image 1** and **Appendix B** identifies the land and to the extent to which this Development Code applies.

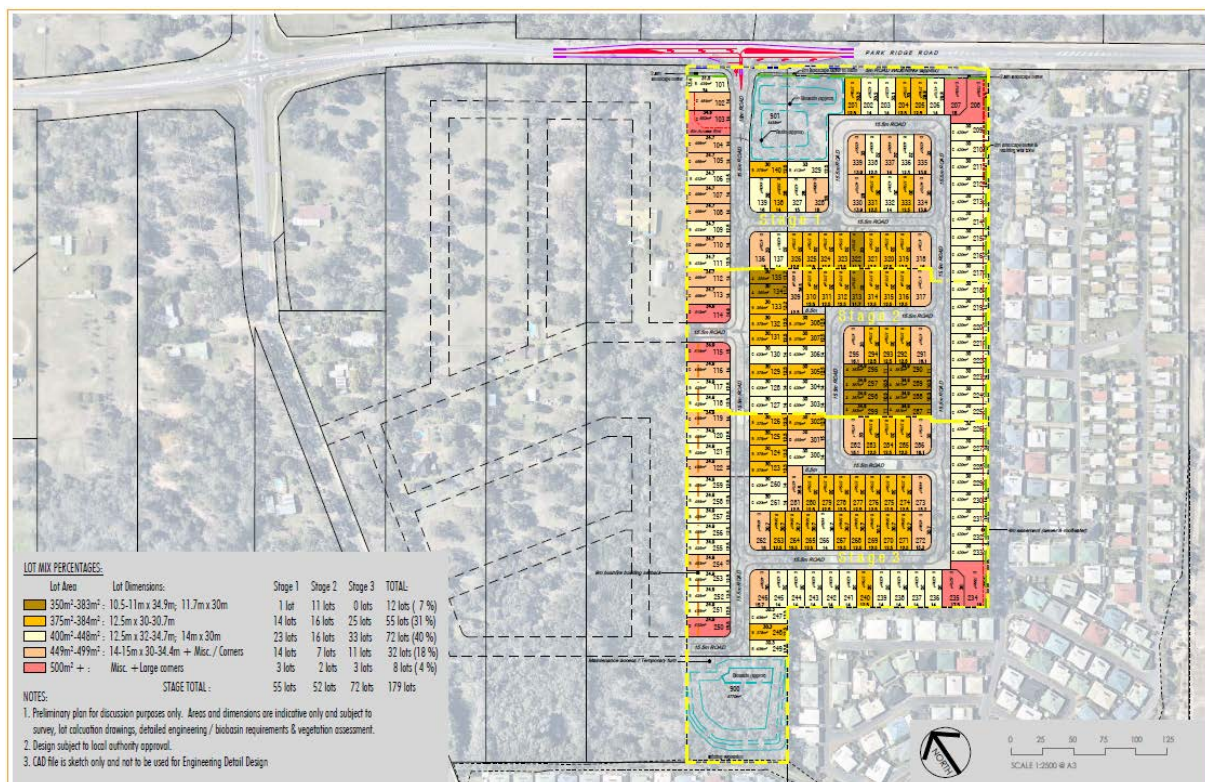


Image 1: Development Concept Plan

Source: Wolter Consulting Group Pty Ltd

3 INTERPRETATION

The Varied Assessment Provisions outlined in section 5 of this report are to be interpreted as a variation to the Logan Planning Scheme 2015 V3 4.4. Where there is inconsistency between these Varied Assessment Provisions and the Logan Planning Scheme 2015, the Varied Assessment Provisions shall prevail. To the extent the variations are consistent with the Scheme, the Desired Environmental Outcomes of the Scheme continue to apply.

The Logan Planning Scheme provisions that apply to the Low Density Residential Zone – Suburban Precinct, specifically the Level of Assessment Table and the relevant provisions in the Dual Occupancy and Dwelling House Code, shall apply to all of the land to which the Varied Assessment Provisions apply, except to the extent varied in section 5 of this report. The Level of Assessment Table for the Low Density Residential Zone designates types of land uses as either exempt, self-assessable or code-assessable based on the satisfaction of certain criteria. In instances where the criteria are not met, the use is otherwise impact assessable. Future development of the site will be subject to the Level of Assessment Table for the Low Density Residential Zone instead of the Emerging Community Zone, as well as the Varied Assessment Provisions outlined in section 5 of this report and any other applicable codes that will continue to apply under the Planning Scheme.

Applicable Levels of Assessment tables for Overlays and the Overlay codes contained in the Logan Planning Scheme shall continue to apply unless otherwise varied by the Varied Assessment Provisions outlined in section 5 of this report.

The definitions in the Logan Planning Scheme V3 4.4 apply to the variations outlined in this report.

4 PURPOSE

The purpose of the Varied Assessment Provisions is to provide a finer grained approach to development of this emerging growth area through detailed planning and design provisions for future development on the site. It is not intended to vary all aspects of the planning scheme in force; relevant provisions of the planning scheme in force shall continue to apply unless otherwise modified by the Varied Assessment Provisions outlined in section 5 of this report.

These Varied Assessment Provisions establish an assessment framework for the future development of the site. This framework details specific variances to the Logan Planning Scheme 2015 V3 ~~4.1~~ including:

- The Levels of Assessment for the types of land uses that are envisaged; and
- The codes against which development applications will be assessed.

This Planning Scheme Variations report is supported by a Development Concept Plan (**Appendix B**) that provides further details into the spatial requirements of the Varied Assessment Provisions.

5 VARIED ASSESSMENT PROVISIONS

These Varied Assessment Provisions apply to all land contained within the site, with the exception of Lots designated for parkland, bio basins or other non-habitable uses as indicated on the Development Concept Plan (**Appendix B**).

5.1 LEVEL OF ASSESSMENT

The Level of Assessment Table of the Logan Planning Scheme for the Low Density Zone will apply to the site instead of the Level of Assessment Table for the Emerging Community Zone. ~~No changes are proposed to the Level of Assessment table for uses in Low Density Residential Zone. The sole change to the Level of Assessment table for uses in the Low Density Residential Zone is the elevation to Impact Assessment for a Dual Occupancy where not a Dual Occupancy (auxiliary unit).~~

A copy of the applicable Level of Assessment Table for the Low Density Residential Zone from the Logan Planning Scheme is attached to this report as **Attachment A**.

5.2 ASSESSMENT CRITERIA

The Emerging Community Zone Code will no longer apply to the site. Future development of the site will be assessed against the Low Density Residential Zone – Suburban Precinct.

The Dual Occupancy and Dwelling House Code has been varied for assessment of the site. No other use codes are varied.

The following Varied Assessment Provisions in **Table 1** below vary certain Acceptable Outcomes of the Dual Occupancy and Dwelling House Code which apply to residential development on the site. All Performance Outcomes will continue to apply and Acceptable Outcomes not included in the table below shall also continue to apply. In the event of conflict between these provisions and those contained within the Scheme, these provisions shall prevail.

Table 1 – Variations to the Dual occupancy and Dwelling House Code

Road Boundary Clearance (varies AO3 of Dual Occupancy and Dwelling House Code by replacing it with the following)
AO3 - Road boundary clearances shall be in accordance with the applicable approved Plan of Development and Building Envelope Plan.
Side and Rear Boundary Clearance (varies AO4 of Dual Occupancy and Dwelling House Code by replacing it with the following)

AO4 - Side and rear boundary clearances shall be in accordance with the applicable approved Plan of Development and Building Envelope Plan.
Site Cover (varies AO5 of Dual Occupancy and Dwelling House Code by replacing it with the following)
AO5 – The maximum site cover for each lot shall not exceed 60%.
Design and Siting for a Dwelling house (varies AO6 of Dual Occupancy and Dwelling House Code by replacing it with the following)
AO6 - Design and siting for a Dwelling house shall be in accordance with the applicable approved Plan of Development and Building Envelope Plan

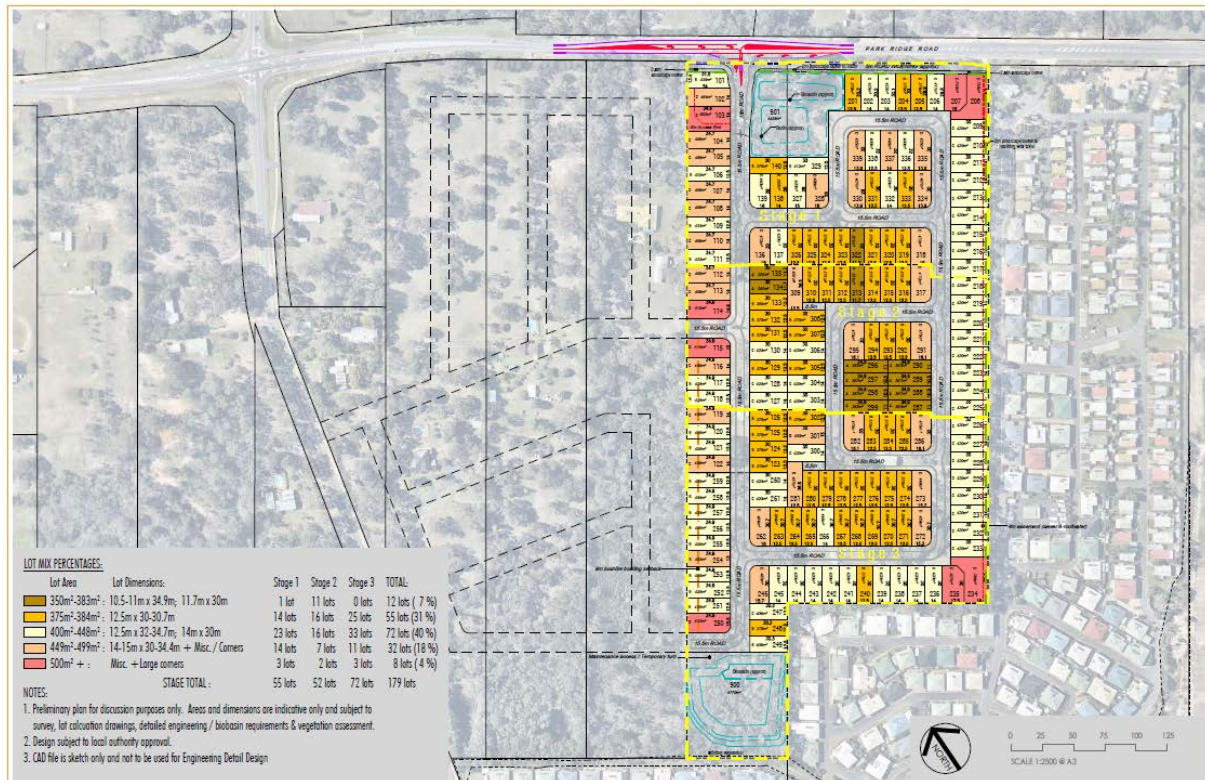
A copy of the Dual occupancy and Dwelling House Code from the Logan Planning Scheme is attached (**Attachment B**), including an additional column labelled “Specific Assessment Provisions” which describes the way in which the code is varied.

5.3 OVERLAYS

The Development Concept Plan will meet all applicable Overlay code requirements. Where development is completed in accordance with an approved Development Concept Plan and these Varied Assessment Provisions, no further assessment against the Applicable Levels of Assessment tables for Overlays and the Overlay codes contained within the Logan Planning Scheme shall apply.

Otherwise, Overlays contained within the Logan Planning Scheme shall apply.

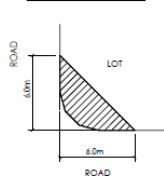
6 DEVELOPMENT CONCEPT PLAN



BUILDING SETBACK PLAN

LOT TYPE	FRONT	SIDE	SIDE ZERO BOUNDARY	REAR	CORNER LOTS SECONDARY FRONTAGE
Standard Type 1 (10-11m frontage)	Ground Floor 4.0 (p) 5.5 (g)	0.9	0.0	2.0	N/A
	First Floor 4.0 (p) 4.0 (g)				
Standard Type 2 (12.5m frontage)	Ground Floor 4.0 (p) 5.5 (g)	1.20	0.0	2.0	N/A
	First Floor 4.0 (p) 4.0 (g)				
Standard Type 3 (14-16m frontage)	Ground Floor 4.0 (p) 5.5 (g)	1.5	0.0	2.0	2.0
	First Floor 4.0 (p) 4.0 (g)				
Bushfire setback Lots 115-122 & 252-261 (Standard Setbacks except for back)	Ground Floor Standard	Standard	Standard	9.5	Standard
Easement setback Lots 209-235 (Standard Setbacks except for back)	First Floor Standard	Standard	Standard	9.5	Standard
Easement setback Lots 208 & 236 (Standard Setbacks except for side)	Ground Floor Standard	Standard	Standard	5.0	Standard
	First Floor Standard	Standard	Standard	5.0	Standard

Special siting requirements for corner allotments



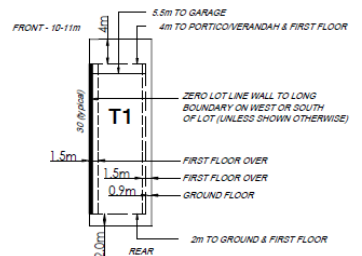
Note: In shaded area structures shall not exceed 2.0m in height

NOTES

- Boundary clearances shall conform with the relevant sections of Logan Planning Scheme unless otherwise specified or dimensioned on this plan;
- Zero lot line identified by thick dark line walls built to the zero lot line boundary (ie. 0-200mm) and elevations within 0.75m are not to exceed 15m in length;
- Where no dimension indicated, refer to table above. Note all setback dimensions are minimum distance measured to specified point;
- Where more than one frontage, primary frontage is determined by: a) location of front door, b) postal address;
- Setbacks shown are to be measured to the wall;
- All garages to the secondary frontage of corner lots are required to be minimum of 5.5m from the property boundary to the outmost projection;
- (p) denotes line of portico / verandah setback
(g) denotes line of garage setback

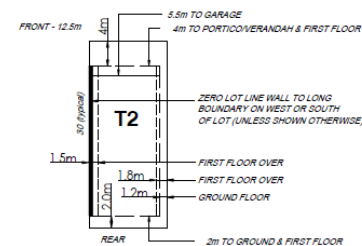
1. Standard Type 1

30-34.4m x 10-11m



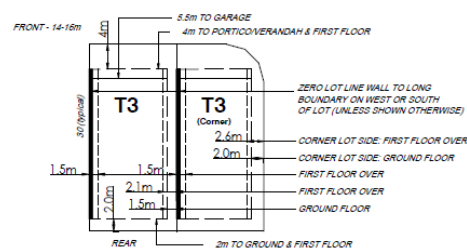
2. Standard Type 2

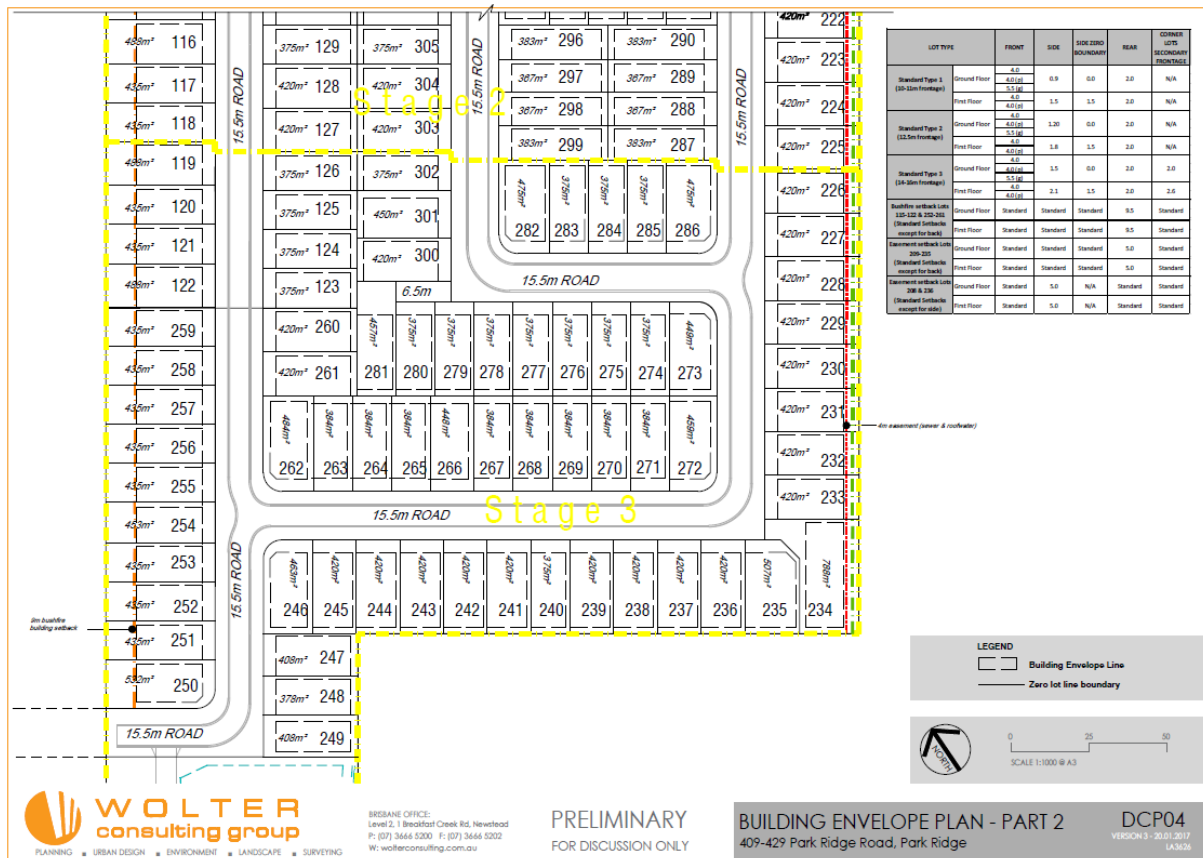
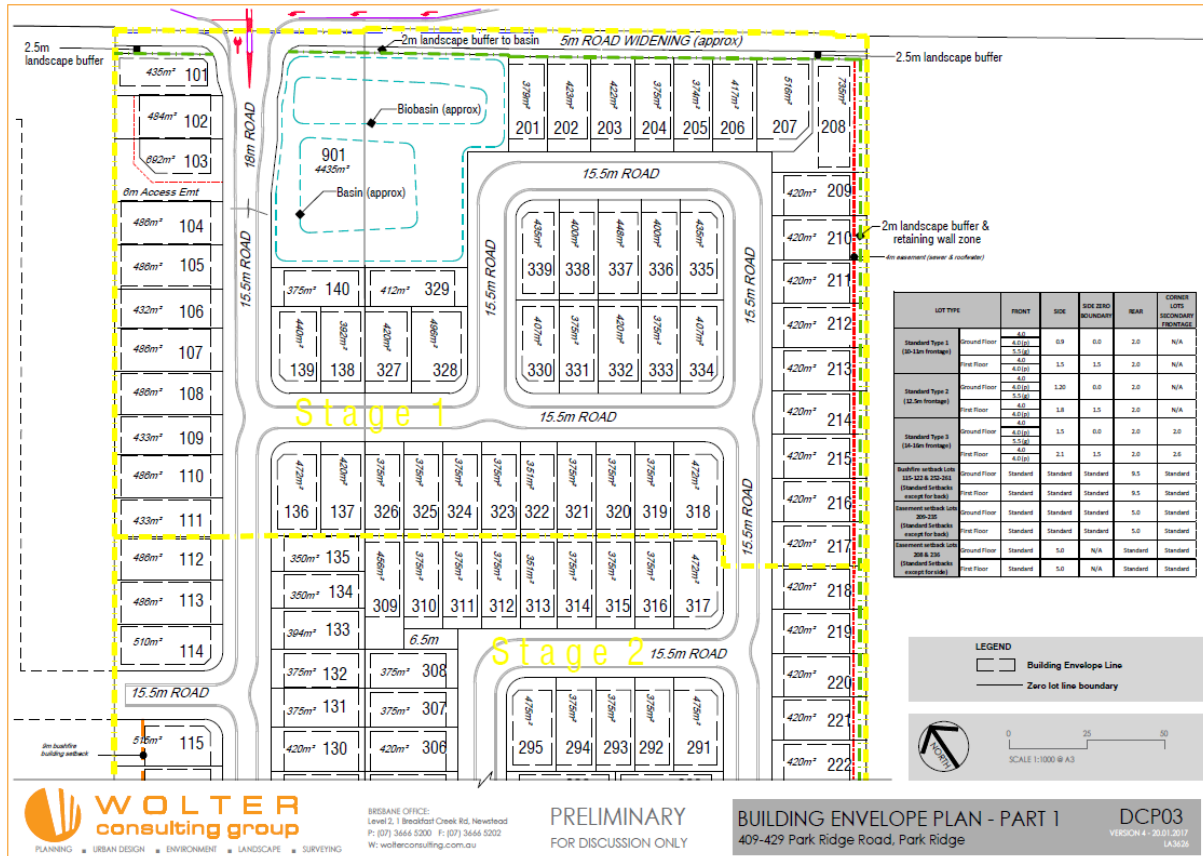
30-34.4m x 12.5m



3. Standard Type 3

30-34.4m x 14-16m





ATTACHMENTS

ATTACHMENT A - LEVEL OF ASSESSMENT TABLE – LOW DENSITY RESIDENTIAL ZONE

5.5.5 Low Density Residential Zone

Use	Level of Assessment	Assessment
All uses	Exempt	
	<p>If— (a) local utilities; or (b) a temporary use in Table 1.7.1.1—Temporary uses.</p> <p>Note—This exempt level of assessment prevails over all other levels of assessment.</p>	Not applicable
	Impact assessment	
	<p>If not exempt and the building height (other than if Animal husbandry, Animal keeping, Dwelling house, Park or Sales office), exceeds— (a) 8.5 on premises with a slope less than 15 percent; or (b) 10 metres on premises with a slope of 15 percent or more.</p> <p>Note—This Impact assessment level of assessment prevails over all Self-assessment and Code assessment in this table.</p>	The planning scheme
	If the building height of a Dwelling House for Lots 208 to 244 and Lots 247 to 249 exceed one (1) storey	The planning scheme
Animal husbandry	Exempt	
	If regulated under Subordinate Local Law No. 4.1 (Animal management) 2002.	Not applicable
Animal keeping	Exempt	
	If-	Not applicable

Use	Level of Assessment	Assessment
	(a) for 25 breeding cats or less kept on the prescribed premises; or (b) for 9 prescribed cats or less kept on the prescribed premises; or (c) for 9 prescribed dogs or less kept on the prescribed premises.	
Caretaker's accommodation	Code Assessment	
	If all of the following are met— (a) the gross floor area is 100m ² or less; (b) there is no other dwelling on the premises.	6.2.5 Low density residential zone code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Child care centre	Code assessment	
	If— (a) not in the Acreage precinct; or Small acreage precinct; (b) located— (i) on the same premises as an existing Educational establishment; or (ii) adjoining an existing Educational establishment.	6.2.5 Low density residential zone code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Community use	Code assessment	
	If all of the following are met— (a) not in the Acreage precinct or Small acreage precinct; (b) the gross floor area is 200m ² or less.	6.2.5 Low density residential zone code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Dual occupancy	Self-assessment	
	If— (a) a Dual occupancy (auxiliary unit) and in any precinct; or (b) not Dual occupancy (auxiliary unit) and in the Small lot precinct and—	If Dual occupancy (auxiliary unit)— 9.3.1 Dual occupancy and Dwelling house code If not Dual occupancy (auxiliary unit)—

Use	Level of Assessment	Assessment
	<p>—(i) if on a corner lot or a dual road lot, the net density does not exceed 57 equivalent dwellings per hectare; or</p> <p>—(ii) if not on a corner lot or a dual road lot, the net density does not exceed 28.5 equivalent dwellings per hectare; or</p> <p>(c) not Dual occupancy (auxiliary unit) and in the Suburban precinct and—</p> <p>—(i) if on a corner lot or a dual road lot, the net density does not exceed 28.5 equivalent dwellings per hectare; or</p> <p>—(ii) if not on a corner lot or a dual road lot, the net density does not exceed 20 equivalent dwellings per hectare; or</p> <p>(d) not Dual occupancy (auxiliary unit) and in the Village precinct and—</p> <p>—(i) if on a corner lot or a dual road lot, the net density does not exceed 20 equivalent dwellings per hectare; or</p> <p>—(ii) if not on a corner lot or a dual road lot, the net density does not exceed 16.5 equivalent dwellings per hectare.</p> <p>Editor's note—to determine the net density, divide the number of equivalent dwellings by the site area, and multiply by 10,000. Equivalent dwellings are defined in Schedule 1.</p>	<p>6.2.5 Low density residential zone code</p> <p>9.3.1 Dual occupancy and Dwelling house code</p> <p>9.4.2 Filling and excavation code</p> <p>9.4.3 Infrastructure code</p> <p>9.4.7 Servicing, access and parking code</p>
	Impact assessment	
	not Dual occupancy (auxiliary unit)	The Planning Scheme

Use	Level of Assessment	Assessment
Dwelling house	Self-assessment	
		9.3.1 Dual occupancy and Dwelling house code
Food and drink outlet	Code assessment	
	If all of the following are met— (a) the gross floor area is 200m ² or less; (b) does not include a drive-through; (c) not in the Acreage precinct or Small acreage precinct.	6.2.5 Low density residential zone code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Health care services	Code assessment	
	If all of the following are met— (a) the gross floor area is 200m ² or (b) not in the Acreage precinct or Small acreage precinct.	6.2.5 Low density residential zone code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Home based business	Self-assessment	
	If- (a) it is- (i) a bed and breakfast and the paying guests do not occupy more than three bedrooms; or (ii) in the Acreage precinct—an equestrian tutelage and the outdoor area is 2,000m ² or less; or (iv) any other business and the use area is 50m ² or less; (b) if in the Acreage precinct—it does not involve more than two non-resident employees or contractors; (c) if in a precinct other than the Acreage precinct—it does not involve more than one non-resident employee or contractor;	9.3.2 Home based business code 9.4.7 Servicing, access and parking code

Use	Level of Assessment	Assessment
	(d) it is not an activity that would otherwise be defined as an Industry activity.	
	Code assessment	
	If not self-assessment and if— (a) it is— (i) a bed and breakfast; or (ii) not a bed and breakfast and the use area is 100m ² or less; (b) it does not involve more than two non-resident employees or contractors (c) it is not an activity that would otherwise be defined as an Industry activity, other than Service industry	9.3.2 Home based business code 9.4.7 Servicing, access and parking code
Multiple dwelling	Code assessment	
	If the dwellings are townhouses and— (a) it is in the Small lot precinct and the net density does not exceed 28.5 equivalent dwellings per hectare; or (b) it is in the Suburban precinct and the net density does not exceed 20 equivalent dwellings per hectare; or (c) it is in the Village precinct and the net density does not exceed 16.5 equivalent dwellings per hectare.	6.2.5 Low density residential zone code 9.3.3 Multiple dwelling, Rooming accommodation and Short-term accommodation code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Park	Exempt	
		Not applicable
Relocatable home park	Code assessment	
	If— (a) it is in the Large suburban precinct and the net density does not exceed 10 equivalent dwellings per hectare; or	6.2.5 Low density residential zone code 9.3.4 Relocatable home park, Residential

Use	Level of Assessment	Assessment
	(b) it is in the Small lot precinct and the net density does not exceed 28.5 equivalent dwellings per hectare; or (c) it is in the Suburban precinct and the net density does not exceed 20 equivalent dwellings per hectare; or (d) it is in the Village precinct and the net density does not exceed 16.5 equivalent dwellings per hectare.	care facility and Retirement facility code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Residential care facility	Code assessment	
		6.2.5 Low density residential zone code 9.3.4 Relocatable home park, Residential care facility and Retirement facility code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Retirement facility	Code assessment	
		6.2.5 Low density residential zone code 9.3.4 Relocatable home park, Residential care facility and Retirement facility code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Sales office	Self-assessment	
		9.3.6 Sales office code 9.4.3 Infrastructure code 9.4.7 Servicing, access and parking code

Use	Level of Assessment	Assessment
Shop	Code assessment	
	If all of the following are met— (a) the gross floor area is 200m2 or less; (b) not in the Acreage precinct or Small acreage precinct.	6.2.5 Low density residential zone code 9.4.2 Filling and excavation code 9.4.3 Infrastructure code 9.4.4 Landscape code 9.4.7 Servicing, access and parking code
Impact assessment		
Any other use not listed in this table.		The planning scheme
Any use listed in the table and not meeting the description listed in the level of assessment column.		
Any other defined use.		

Editor's note—The above levels of assessment apply unless otherwise prescribed within the Act or the Regulation.

ATTACHMENT B - VARIED ASSESSMENT PROVISIONS IN DUAL OCCUPANCY AND DWELLING HOUSE CODE

Dual Occupancy and Dwelling House Code

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
For self-assessable and assessable development		
Building height		
PO1 A building has a height in the Environmental management and conservation zone, Cottage rural precinct of the Rural residential zone and Rural zone that: <ul style="list-style-type: none"> (a) does not dominate the landscape, bushland, semi-rural or rural setting for the zone or precinct; (b) is responsive to the topography of the area and site slope. 	AO1 A building has a maximum height of 12 metres in the: <ul style="list-style-type: none"> (a) Environmental management and conservation zone; (b) Cottage rural precinct of the Rural residential zone; (c) Rural zone. 	Not Applicable- Not applicable to buildings in the Low Density Residential Zone.
Class 10 buildings		
PO2 A class 10a building: <ul style="list-style-type: none"> (a) is of a scale and has a built form that is compatible with the premises and adjoining premises having regard to: <ul style="list-style-type: none"> (i) height, mass and proportion; (ii) roof form and pitch; (iii) building materials; (b) maintains or contributes positively to the streetscape. <p>Note—A class 10a building is a non-habitable building being a private garage, carport, shed, or the like.</p>	AO2 The total maximum gross floor area of a single class 10a building or multiple class 10a buildings is: <ul style="list-style-type: none"> (a) 40m² on a lot 400m² or smaller; or (b) 60m² in the following precincts in the Low density residential zone: <ul style="list-style-type: none"> (i) Large suburban precinct; (ii) Small lot precinct on a lot greater than 400m²; (iii) Suburban precinct on a lot greater than 400m²; (iv) Village precinct; or 	Acceptable outcomes for Low Density Residential Zone apply.

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
	<ul style="list-style-type: none"> (c) 110m² in the following precincts in the Low density residential zone: <ul style="list-style-type: none"> (i) Acreage precinct; (ii) Small acreage precinct; or (d) 110m² in the following precincts in the Rural residential zone: <ul style="list-style-type: none"> (i) Park living precinct; (ii) Park residential precinct; or (e) 150m² in the: <ul style="list-style-type: none"> (i) Emerging community zone; (ii) Environmental management and conservation zone; (iii) following precincts in the Rural residential zone: <ul style="list-style-type: none"> (A) Carbrook precinct; (B) Cottage rural precinct; (iv) Rural zone. 	
Road boundary clearance		
<p>PO3 A Dual occupancy or Dwelling house:</p> <ul style="list-style-type: none"> (a) is located to protect existing and planned movement networks; (b) has a road boundary clearance compatible with that of adjoining premises. 	<p>AO3 A Dual occupancy or Dwelling house:</p> <ul style="list-style-type: none"> (a) is located outside planned widening of a road and a new road identified in Table 1–Road encroachment maps; (b) has a minimum road boundary clearance of 10m in the: <ul style="list-style-type: none"> (i) Low density residential zone: <ul style="list-style-type: none"> (A) Acreage precinct; (B) Small acreage precinct; (ii) Rural residential zone: <ul style="list-style-type: none"> (A) Carbrook precinct excluding a lot with a frontage to Mount Cotton Road or Beenleigh - Redland Bay Road; (B) Park living precinct; (C) Park residential precinct; or 	<p>Varied- Road boundary clearances shall be in accordance with the applicable Development Envelope and Building Setback Plan.</p>

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
	<p>(c) has a minimum road boundary clearance of 20m in the:</p> <ul style="list-style-type: none"> (i) Emerging community zone; (ii) Environmental management and conservation zone; (iii) Rural residential zone—Carbrook precinct with a road frontage to Mount Cotton Road or Beenleigh—Redland Bay Road; (iv) Rural zone; or <p>(d) has a minimum road boundary clearance of 4m in the:</p> <ul style="list-style-type: none"> (i) Low density residential zone – Small lot precinct; (ii) Low–medium density residential zone. <p>Note—For the purposes of the <i>Queensland Development Code</i> and this acceptable outcome, the nominated road frontage for the road boundary clearance of a corner lot is the narrower frontage.</p>	
Side and rear boundary clearance		
<p>PO4</p> <p>A Dual occupancy or Dwelling house has a side and rear boundary clearances that:</p> <ul style="list-style-type: none"> (a) is compatible with that of adjoining premises; (b) allows for the separation of buildings or structures necessary to ensure impacts on residential amenity and privacy are minimised; (c) provides access to natural light and ventilation; (d) provides an area of landscaping; (e) is consistent with the character for the relevant zone and precinct. 	<p>AO4</p> <p>A Dual occupancy or Dwelling house has the following minimum side and rear boundary clearances:</p> <ul style="list-style-type: none"> (a) 3 metres in the Rural residential zone, the Emerging community zone and the following precincts in the Low density residential zone: <ul style="list-style-type: none"> (i) Acreage; (ii) Small acreage precinct; or (b) 10 metres in the: <ul style="list-style-type: none"> (i) Environmental management and conservation zone; (ii) Rural zone. 	<p>Varied-</p> <p>Side and rear boundary clearances shall be in accordance with the applicable Development Envelope and Building Setback Plan.</p>
Site cover		
PO5	AO5	Varied-

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
A Dual occupancy or Dwelling house has a site cover compatible with adjoining premises.	<p>A Dual occupancy (auxiliary unit) or Dwelling house has a maximum site cover of:</p> <ul style="list-style-type: none"> (a) 40 per cent in the Low density residential zone—Large suburban precinct; (b) 35 per cent in the Low density residential zone—Small acreage precinct; (c) 20 per cent or 700m², whichever is greater, in the Low density residential zone—Acreage precinct; (d) in the Rural residential zone: <ul style="list-style-type: none"> (i) 20 per cent or 700m², whichever is greater, in the Park living precinct or Park residential precinct; or (ii) 10 per cent or 700m², whichever is greater, in the Carbrook precinct or Cottage rural precinct; (e) 10 per cent or 700m², whichever is greater, in the Emerging community zone, Environmental management and conservation zone or Rural zone. 	The maximum site cover for each lot shall not exceed 60%.
Design and siting for a Dwelling house		
<p>PO6</p> <p>A Dwelling house (and a secondary dwelling and any building or structure ancillary to a Dwelling house):</p> <ul style="list-style-type: none"> (a) that is on a lot that is less than 450m² in size complies with the Performance Criteria specified in QDC part MP 1.1; or (b) that is on a lot that is 450m² or greater in size complies with the Performance Criteria specified in QDC part MP 1.2. <p>Note—References to QDC parts MP 1.1 and 1.2 for the purposes of PO6 are to be applied if these provisions applied to a secondary dwelling.</p>	<p>AO6</p> <p>A Dwelling house (and a secondary dwelling and any building or structure ancillary to a Dwelling house):</p> <ul style="list-style-type: none"> (a) that is on a lot that is less than 450m² in size complies with the Acceptable Solutions specified in QDC part MP 1.1; or (b) that is on a lot that is 450m² or greater in size complies with the Acceptable Solutions specified in QDC part MP 1.2. <p>Note—Where Table 1 AO1, AO3, AO4, AO5, AO8 or AO9 applies, AO1, AO3, AO4, AO5, AO8 or AO9 prevail over AO6 to the extent of any inconsistency.</p>	<p>Varied-Design and siting for a Dwelling house shall be in accordance with the applicable Development Envelope and Building Setback Plan.</p>

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
	Note—References to QDC parts MP 1.1 and 1.2 for the purposes of AO6 are to be applied as if these provisions applied to a secondary dwelling.	
Design and siting for a Dual Occupancy		
<p>PO7 A Dual occupancy complies with the Performance Criteria specified in QDC part MP 1.3.</p> <p>Note—For the purpose PO7, a reference to “duplex” in QDC MP1.3 is taken to be “Dual occupancy” as defined by this planning scheme.</p> <p>Note—References to QDC parts MP 1.3 for the purposes of PO7 are to be applied as if these provisions applied to a Dual occupancy.</p> <p>Editor's note—Zone code provisions may prevail over this performance outcome to the extent of any inconsistency in accordance with section 1.5(1).</p>	<p>AO7 A Dual occupancy complies with the Acceptable Solutions specified in QDC part MP 1.3.</p> <p>Note—For the purpose of AO7, a reference to “duplex” in QDC MP1.3 is taken to be “Dual occupancy” as defined by this planning scheme.</p> <p>Note—Where Table 1 AO1, AO3, AO4, AO5, AO8 or AO9 applies, AO1, AO3, AO4, AO5, AO8 or AO9 prevail over AO7 to the extent of any inconsistency.</p> <p>Note—References to QDC parts MP 1.3 for the purposes of AO7 are to be applied as if these provisions applied to a Dual occupancy.</p> <p>Editor's note—Zone code provisions may prevail over this acceptable outcome to the extent of any inconsistency in accordance with section 1.5(1).</p>	No Change
Dual occupancy (auxiliary unit) or secondary dwelling		
<p>PO8 Where development is a Dual occupancy (auxiliary unit) or secondary dwelling, the subordinate dwelling has a maximum gross floor area of:</p> <p>(a) 70m² if in the residential zone category and on a lot that is less than 1,000m² in size; or</p> <p>(b) 100m² otherwise.</p>	<p>AO8 Where development is a Dual occupancy (auxiliary unit) or secondary dwelling, the subordinate dwelling has a maximum gross floor area of:</p> <p>(a) 70m² if in the residential zone category and on a lot that is less than 1,000m² in size; or</p> <p>(b) 100m² otherwise.</p>	No Change
<p>PO9 A Dual occupancy (auxiliary unit) or secondary dwelling:</p> <p>(a) has a primary street setback equal to or greater than the Dwelling house or primary dwelling;</p>	<p>AO9 A Dual occupancy (auxiliary unit) or secondary dwelling:</p> <p>(a) has a primary street setback equal to or greater than the Dwelling house or primary dwelling;</p>	No Change

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
(b) is located a maximum of 20 metres from the outermost projection of the Dwelling house or primary dwelling.	(b) is located a maximum of 20 metres from the outermost projection of the Dwelling house or primary dwelling.	
Reverse amenity		
PO10 A Dual occupancy (auxiliary unit) or Dwelling house maintains the operational integrity of the government supported transport infrastructure and corridor by mitigating the adverse impacts of the infrastructure.	AO10 Development, being a Dual occupancy (auxiliary unit) or Dwelling house, complies with the noise and vibration criteria for accommodation activities identified in section 7–Policy for Development on Land Affected by Environmental Emissions from Transport and Transport Infrastructure prepared by Department of Transport and Main Roads where it: <ul style="list-style-type: none"> (a) shares a common boundary with government supported transport infrastructure; or (b) is separated from a government supported transport infrastructure by only a road, access way service or utility easement or other undeveloped land such as a park or nature reserve; or (c) is within direct line of sight to government supported transport infrastructure; or (d) is within 100 metres of government supported transport infrastructure. 	No Change
Dual occupancy (auxiliary unit) or Dwelling house located in the Acid sulfate soils overlay		
PO11 A Dual occupancy (auxiliary unit) or Dwelling house in the Potential and actual acid sulfate soil area identified on Acid sulfate soils overlay map–OM–01.00 that involves disturbing soil or sediment at or below 5 metres AHD: <ul style="list-style-type: none"> (a) avoids disturbing acid sulfate soils; or 	AO11.1 A Dual occupancy (auxiliary unit) or Dwelling house located in the Potential and actual acid sulfate soils below 5 metres AHD area identified on Acid sulfate soils overlay map–OM–01.01 does not involve: <ul style="list-style-type: none"> (a) excavating or otherwise removing 100m³ or more of soil or sediment; or (b) filling of land involving 500m³ or more of material with an 	No Change

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
<p>(b) is managed to avoid or minimise the release of:</p> <ul style="list-style-type: none"> (i) acid and metal contaminants; (ii) nutrients that contribute to coastal algal blooms. <p>Editor's note—For assessable development, undertake an acid sulfate soils investigation conforming to the Guidelines for Sampling and Analysis of Lowland Acid Sulfate Soils in Queensland and the Queensland Acid Sulfate Soil Technical Manual: Laboratory Methods Guidelines. Where the presence of acid sulfate soils is confirmed, prepare an acid sulfate soils management plan in accordance with the Queensland Acid Sulfate Soil Technical Manual: Soil Management Guidelines.</p>	<p>average depth of 0.5 of a metre or greater; or</p> <p>(c) extracting ground water.</p>	
	<p>AO11.2 A Dual occupancy (auxiliary unit) or Dwelling house located in the Potential and actual acid sulfate soils above 5 metres and below 20 metres AHD area identified on Acid sulfate soils overlay map—OM—01.01 does not involve excavating or otherwise removing 100m³ or more of soil or sediment at or below 5 metres AHD.</p>	No Change
Dual occupancy (auxiliary unit) or Dwelling house located in the Biodiversity areas overlay		
<p>PO12 A Dual occupancy (auxiliary unit) or Dwelling house in the Primary or Secondary vegetation management area identified on Biodiversity areas overlay map—OM—02.01 is confined within an development envelope area that:</p> <ul style="list-style-type: none"> (a) is approved by Council; or (b) is sited and operated with regard to: <ul style="list-style-type: none"> (i) the protection of native vegetation; (ii) the potential impacts of other overlays mapped within the development envelope area (c) has a size of: <ul style="list-style-type: none"> (i) 4,000m² or less; or (ii) greater than 4,000m² where an environmental offset is provided in accordance with section 3.1—Environmental offset standards in planning scheme policy 3— 	<p>AO12 A Dual occupancy (auxiliary unit) or Dwelling house located in the Primary or Secondary vegetation management area identified on Biodiversity areas overlay map—OM—02.01, that is not located within a development envelope area approved by a development approval:</p> <ul style="list-style-type: none"> (a) is located to avoid the need to clear any native vegetation in the Primary vegetation management area; (b) is located to avoid the need to clear any native trees or native habitat trees in the Secondary vegetation management area. <p>Editor's note—Operational work for clearing of native vegetation may be exempt in accordance with Parts 5.8 and 5.10.2. Where clearing of native of vegetation in the location of the development is exempt, AO12 would not apply to</p>	<p>Not Applicable - Not applicable as the Development Envelope and Building Setback Plan has been designed to incorporate the acceptable outcomes of the Biodiversity areas overlay.</p>

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
<p>Environmental management, for any the portion of the envelope that exceeds 4,000m².</p> <p>Note—Compliance with Performance outcome PO12(c)(ii) is to be demonstrated by an environmental offset report prepared in accordance with Part 2 of planning scheme policy 3—Environmental management.</p>	<p>the development as the vegetation may be lawfully cleared as exempt operational works.</p>	
<p>PO13 A Dual occupancy (auxiliary unit) or Dwelling house in:</p> <p>(a) a Biodiversity corridor identified on Biodiversity areas overlay map—OM—02.02 is designed and located to:</p> <ul style="list-style-type: none"> (i) provide for habitat links; (ii) facilitate safe wildlife movement; (iii) facilitate wildlife refuge; (iv) enhance habitat values; (v) rehabilitate degraded areas with native vegetation; or <p>(b) a Koala corridor identified on Biodiversity areas overlay map—OM—02.02 is:</p> <ul style="list-style-type: none"> (i) designed and located to protect and enhance koala habitat; (ii) designed to minimise adverse light impacts on native fauna; or <p>(c) the Locally significant Melaleuca irbyana buffer area identified on Biodiversity areas overlay map—OM—02.03 protects the Locally significant Melaleuca irbyana area identified on Biodiversity areas overlay map—OM—02.03 from:</p> <ul style="list-style-type: none"> (i) edge effects; or <p>(d) Development is designed and located to protect and enhance the landscape values of:</p>	<p>AO13 A Dual occupancy (auxiliary unit) or Dwelling house that is not located within a development envelope area approved by a development approval is:</p> <ul style="list-style-type: none"> (a) located outside a Biodiversity corridor as identified on Biodiversity areas overlay map—OM—02.02; (b) located to avoid the need to clear any native vegetation in a Koala corridor identified on Biodiversity areas overlay map—OM—02.02; (c) located outside the Locally significant Melaleuca irbyana 50 metre buffer area identified on Biodiversity areas overlay map—OM—02.03. 	<p>Not Applicable - Not applicable as the Development Envelope and Building Setback Plan has been designed to incorporate the acceptable outcomes of the Biodiversity areas overlay.</p>

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
<p>(i) a ridgeline; (ii) native vegetation.</p> <p>Note—Compliance with this performance outcome is to be demonstrated by a detailed ecological assessment report prepared in accordance with Part 2 of planning scheme policy 3—Environmental management.</p>		
Dual occupancy (auxiliary unit) or Dwelling house located in the Extractive resources overlay		
<p>PO14 A Dual occupancy (auxiliary unit) or Dwelling house:</p> <p>(a) does not increase the number of people living in the Extractive resource separation area identified on Extractive resources overlay map—OM—04.01;</p> <p>(b) in a Transport route separation area identified on Extractive resources overlay map—OM—04.01 is compatible with the transporting of the extractive resource.</p>	<p>AO14 A Dual occupancy (auxiliary unit) or Dwelling house is not located in an Extractive resource separation area or Transport route separation area identified on Extractive resources overlay map—OM—04.01.</p>	<p>Not Applicable - Not applicable as the Development Envelope and Building Setback Plan has been designed to incorporate the acceptable outcomes of the Extractive resources overlay.</p>

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
Dual occupancy (auxiliary unit) or Dwelling house located in the Flood hazard overlay		
PO15 A Dual occupancy (auxiliary unit) or Dwelling house: (a) ensures a building floor level of a habitable room has adequate allowance for the hydraulic gradient above the main floodway; (b) must not increase the level of risk of injury to life or risk damage to property; (c) does not add to the emergency management or evacuation burden during and after a flood event.	AO15 A Dual occupancy (auxiliary unit) or Dwelling house located in an area identified on Flood Hazard overlay map—OM—05.00: (a) has a finished habitable floor level a minimum of 500mm above the defined flood event; (b) does not result in: (i) an increase in the number of people at risk from flooding up to and including the defined flood event; or (ii) an increase in the number of people that need evacuation up to and including the defined flood event.	Not Applicable - Not applicable as the Development Envelope and Building Setback Plan has been designed to incorporate the acceptable outcomes of the Flood hazard overlay.
Dual occupancy (auxiliary unit) or Dwelling house located in the Landslide hazard and steep slope area overlay		
PO16 A Dual occupancy (auxiliary unit) or Dwelling house is designed: (a) to be responsive to the topography of the premises; (b) to be responsive to the visual amenity of adjoining premises, the streetscape and the locality; (c) so that the undercroft of a building or is screened when viewed from adjoining premises or a road. Note—Compliance with this performance outcome is to be demonstrated by certification from a Registered Professional Engineer of Queensland specialising in geotechnical engineering that the footings, foundations, retaining walls and any other structure is safe and designed to prevent landslide.	AO16 If a Dual occupancy (auxiliary unit) or Dwelling house is not located within a development envelope area approved by a development approval and is in a location: (a) identified as “Historical landslide areas” on Landslide hazard and steep slope area overlay map—OM—08.01; or (b) where the gradient is equal to or greater than 12 percent and the development is identified on the Landslide hazard and steep slope area overlay map—OM08.01 as: (i) “Equal to or greater than 12 percent slope hazard areas”; or (ii) “12 percent slope investigation areas”; or (c) where the gradient is equal to or greater than 15 percent and the development is identified on the Landslide hazard and steep slope area overlay	Not Applicable - Not applicable as the Development Envelope and Building Setback Plan has been designed to incorporate the acceptable outcomes of the Landslide hazard and steep slope area overlay.

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
	<p>map-OM-08.01 as “Equal to or greater than 15 percent slope hazard areas” the:</p> <ul style="list-style-type: none"> (i) development is carried out in accordance with a site-specific engineering report that includes a certification by a Registered Professional Engineer of Queensland with expertise in geotechnical engineering; (ii) development does not involve cut and fill; (iii) undercroft of the building or structure has: <ul style="list-style-type: none"> (A) skirting or landscape screening to the full height of the undercroft; (B) a maximum height at the perimeter of the building or structure of 3 metres. 	
Dual occupancy (auxiliary unit) or Dwelling house located in the Regional infrastructure corridors and substations overlay		
<p>PO17</p> <p>A Dual occupancy (auxiliary unit) or Dwelling house located in the Regional infrastructure and buffers identified on Regional infrastructure corridors and substations overlay map-OM-09.00:</p> <ul style="list-style-type: none"> (a) prevents an unacceptable health or safety risk to the community; (b) takes into account the impacts of “sag” and “swing” of 110kv and 275kv powerlines; (c) protects the operation of water and petroleum pipelines; (d) ensures access is provided to the infrastructure provider at all times for: <ul style="list-style-type: none"> (i) 110kv and 275kv powerlines; (ii) substations; 	<p>AO17</p> <p>A Dual occupancy (auxiliary unit) or Dwelling house that is not within a development envelope area approved by a development approval located outside the Regional infrastructure and buffers identified on Regional infrastructure corridors and substations overlay map-OM-09.00.</p>	<p>Not Applicable - Not applicable as the Development Envelope and Building Setback Plan has been designed to incorporate the acceptable outcomes of the Regional infrastructure corridors and substations overlay.</p>

Performance outcomes	Acceptable outcomes	Specific Assessment Provisions
(iii) wastewater facilities.		
Dual occupancy (auxiliary unit) or Dwelling house located in the Water resource catchments overlay		
PO18 A Dual occupancy (auxiliary unit) or Dwelling house in the Water resource catchment areas identified on Water resource catchments overlay map–OM–12.01 is undertaken in a manner which contributes to maintaining the water quality in the water resource catchment areas.	AO18 A Dual occupancy (auxiliary unit) or Dwelling house: <ul style="list-style-type: none"> (a) that is not within a development envelope area approved by a development approval is located outside the Water resource catchment area, identified on Water resource catchments area overlay map–OM–12.01; (b) is connected to reticulated sewerage; or (c) is connected to an on-site waste water treatment or effluent disposal system that complies with Element 1 of the Seqwater Development Guidelines – Development Guidelines for Water Quality Management in Drinking Water Catchments 	Not Applicable - Not applicable as the Development Envelope and Building Setback Plan has been designed to incorporate the acceptable outcomes of the Water resource catchments overlay.
Dual occupancy (auxiliary unit) or Dwelling house located in the Waterway corridors and wetlands overlay		
PO19 A Dual occupancy (auxiliary unit) or Dwelling house located inside an area mapped on Waterway corridors and wetlands overlay map–OM–13.00 protects ecosystem processes, water quality, function, scenic amenity and landscape values.	AO19 A Dual occupancy (auxiliary unit) or Dwelling house that is not within a development envelope area approved by a development approval is located outside the mapped area identified on Waterway corridors and wetlands overlay map–OM–13.00.	Not Applicable - Not applicable as the Development Envelope and Building Setback Plan has been designed to incorporate the acceptable outcomes of the Waterway corridors and wetlands overlay.

